

**BLACK BULL SUBDIVISION  
DESIGN AND LANDSCAPE GUIDELINES  
DATED NOVEMBER 15, 2011**

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**ARCHITECTURAL CONTROL**

**Intent.** The architectural and design standards and guidelines which follow are intended to complement any applicable Zoning Code and any protective covenants which govern this Project (“Declaration”), and to clarify the intention for the design of residences for this Project. Specifically, these guidelines set forth design criteria which address the residence design and location, landscaping, and other improvements. The intent of these guidelines is to allow as much flexibility as possible while at the same time define a basic level of quality and consistency of the residential design, which will be consistent with and maximize the quality of the overall Project. The unique design elements of the Declarant, Building Contractor, Architect, and Owners for both the landscaping and the residences will be respected, and individual expression is encouraged, provided they are harmonious with the overall plan of the area and the Project.

Except insofar as its duties may be extended with respect to a particular area by the Association, the Declarant or Architectural Review Committee (Committee) created by the Declaration shall review and approve or disapprove all plans and specifications submitted to it for any proposed improvement.

No construction or structural alteration of any improvement or any work affecting the external appearance of any improvement shall be made, erected, altered, placed or permitted to remain upon the Lot until a site plan, floor plans, elevations, trim details, specifications and landscaping showing the design, location, material(s), and color(s) together with the name of the contractor shall have been submitted to and such site plan and specifications are approved in writing by the Committee.

**Definitions and Conflicting Language**

Unless otherwise defined herein, capitalized terms shall have the definition provided in the Declaration. In the event any of these design guidelines and standards conflict with the Declaration, the design guidelines and standards in this document shall prevail.

**Requirement for Approval of Plans.**

See Article VI of the Declaration.

**Membership of the Architectural Review Committee.**

See Article VI of the Declaration

**Standards For Review.**

It shall be the applicant’s responsibility to ensure that all proposed construction shall comply with the Uniform Building Code (or the code currently enforced by the Gallatin County or the State of Montana), National Plumbing Code and the National Electrical Code, and the Design Guidelines. All plans must be harmonious with the overall plan for the Project. All plans, materials and specifications must be suitable to

the site, adjacent properties and the neighborhood. All improvements must be compatible with the surrounding properties so as to not impair or degrade property or aesthetic values.

### **Approval or Disapproval by the Committee.**

Upon receipt of a complete application, the Committee has thirty (30) business days to approve or disapprove the location, construction design, landscaping, and materials used for the residence, followed by a seven (7) day period upon the applicant's request for a response. The thirty (30) day time period will not start until after the detailed site plan, floor plans, roof plans, trim details, project specifications, color samples, sample materials and landscaping plans have all been submitted to the Committee. Upon receipt of all such required items, the Committee will notify the Owner, in writing, of the date of the start of the thirty (30) day approval period. If the Committee feels that insufficient plans, project specifications, color samples, sample materials or landscaping plans have been submitted either by the Lot Owner or the Owner's representative, then the Committee may notify the Owner in writing of the incomplete submittal. If the Committee sends such notice of an incomplete submittal, the Owner will have thirty (30) days to resubmit a completed submittal. Upon submission of complete application, the Committee will then have an additional thirty (30) days to review the resubmittal. If the Owner does not receive a response from the Committee within thirty (30) days of receiving notice the application is complete, the Owner may request, in writing, a response and the Committee shall then have seven (7) days to respond. As a protection to the Owner, if the Owner has been notified in writing by the Committee of the starting date of the thirty (30) day approval period and the Committee does not respond with approval or disapproval by the end of the thirty (30) day approval period, and the Owner submits a written request for a response and no such response is sent by the Committee within seven (7) days, then the approval shall be deemed granted. Any plans, specifications, samples, and proposals approved, either expressly in writing or by the expiration of the seven (7) day period hereinabove provided, shall then permit the Owner to commence construction in accordance with said plan, but any deviation from said plan which, in the judgment of the Committee, is also; a) a deviation of substance from either the Design Guidelines; b) the requirements of the Declaration; or c) a detriment to the appearance of the structure or to the surrounding area, shall be promptly corrected to conform with the submitted plan by the Owner or corrected by the Association at the Owner's expense. The Committee is not responsible for review or approval of code issues. The Owner and the Owner's building team are responsible for Code compliance.

Any final decision of the Committee may be appealed in writing to Declarant or the Board. Any such appeal must be submitted in writing to Declarant or the Board within fifteen (15) days after the date the appealing Member receives notice of the final decision by the Committee. The written notice of the appeal shall specifically state the appealing member's grounds for appeal. Declarant or the Board may adopt and promulgate procedures and grounds for appeals. The decision of Declarant or the Board with respect to all appeals shall be final and determinative.

### **Inspection of Work.**

Upon the completion of any Improvement, if the Committee finds that such work was not done in compliance with all approved plans and specifications submitted or required to be submitted for its prior approval, it shall notify the Owner and the Association of such noncompliance, and shall require the Owner to remedy the same. If, upon the expiration of seven (7) business days from the date of such notification, the

Owner has failed to commence to remedy such noncompliance or reached agreement with the Committee on a plan for such remedy, the Association shall determine the nature and extent of noncompliance thereof and the estimated cost of correction or removing the same. The Association shall notify the Owner in writing of the estimated cost of correction or removal. The Owner shall then only have five (5) days to commence such remedy and thirty (30) days to complete such remedy, unless such time period is extended by the Committee.

If the Owner still does not comply with the Association's ruling within such designated period, the Association, at its option, may either remove the non-complying improvement or remedy the noncompliance, and the Owner shall reimburse the Association upon demand for all expenses incurred in connection therewith. If such expenses are not promptly repaid by the Owner to the Association, the Association shall levy an assessment and file a lien against such Owner and the Improvement in question and the land on which the same is situated for reimbursement and the same shall be enforced and/or foreclosed upon as set forth in the Declaration.

The Committee may inspect all work in progress and give notice of noncompliance as provided above.

### **Design Submittal.**

See Article VI of the Declaration.

All Design Submittals shall include the following materials:

1: Site plans including landscaping, walks and decks. (Scale: 1/8" = 1'-0" or similar engineering scale)

2: Complete Construction Drawings signed by licensed architect- At least three (3) sets shall be submitted to the Committee for approval. This includes floor plans, exterior elevations of all sides, roof design, specifications and construction details, all fire protection systems, and a separate drawing describing the fire protection system.  
(Scale 1/4" = 1'-0")

3: Samples of all exterior materials with their respective color proposals in an adequate size to evaluate properly. Upon receipt of the plan package, the fire protection authority having jurisdiction shall be notified to review the fire protection system. The time for plan review shall be adjusted accordingly if plans are submitted during any holidays. Approval of plan submittal shall require a majority by the Committee.

4: A review fee will be required at the time of submission of all the design submittal documents and materials. The Owner shall submit the required design review fee to the Committee. It shall be the duty of the Association to establish the amount of the design review fee. The purpose of the design review fee shall be to defray the Association's cost of review of all proposed site plans and specifications submitted to them. The current review fee is \$400.00.

5: Should the applicant and designer wish to have their project reviewed in the schematic stage to determine the appropriateness of their design, a preliminary review is encouraged. No additional review fee will be required, and any requested changes by the Committee can be more effectively incorporated into the final design.

### **Start of Construction.**

No construction work shall be initiated without a building permit or Land Use permit issued by appropriate governing authority (if such permits are required) and without written approval of the plans by the Committee. All building construction and landscaping must conform to both the final approved plans by the Gallatin County Planning Office if required, and the Committee. Storage of anything on the Lot prior to construction is completely forbidden, unless permission is obtained in writing from the Committee.

### **Building and Site Development**

Intent of Design Criteria. The primary goal is to ensure that the proposed Project design, including landscaping, maintains or exceeds the general level of quality, size, appearance, and marketability. All initial or subsequent improvements to the privately owned Lots shall be subject to the following architectural and landscaping requirements and guidelines. The Committee reserves the right to grant a variance from these guidelines and standards when individual circumstances warrant such variance. The grant of a variance to one owner shall not entitle any other owner to a variance.

All lands within the Project are subject to the zoning regulations of Gallatin County and as noted on the plat and Covenants.

In addition to these Regulations, building design may be regulated by any applicable City, County, State and Federal regulatory agencies having jurisdiction. The Owner or his or her agent shall be responsible to ensure conformance with any applicable regulations, and should check with Gallatin County, and State of Montana Building Codes Division to verify that the most recently adopted edition of any applicable regulation is being used. No construction of, or alteration to, any improvements, whether temporary or permanent, including but not necessarily limited to buildings, fences, walls, earthwork, paving, vegetation, signs, or secondary structures, shall be commenced on any Lot prior to receiving the written approval of the Committee and Gallatin County as applicable.

Interior modification and/or improvements that do not alter the exterior appearance of a building, or the site improvements, shall not require the approval of the Committee. All landscaping modifications require approval of the Committee.

Height Limits. Maximum roof heights will be 32'. Measurement of building height shall be in the manner shown in the illustrations below, depicting measurement from street level to the highest point of the roof structure.

### REAR ELEVATION



### Minimum and Maximum Building Sizes.

Minimum. Unless the Committee grants a variance, 2500 square feet excluding garage on a single level. For Multiple level units, unless the Committee grants a variance, the ground floor level (street level) shall be a minimum of 2000 square feet excluding garage, with total minimum square footage on all levels of 2700 square feet, excluding garage.

Maximum. Maximum sizes shall be governed by lot size. For lots of 11,000 sq. ft. or less, maximum square footage shall not exceed 3500 sq. ft. excluding garage.

For lots of 11,001 sq. ft. to 21,780 sq. ft., maximum square footage shall not exceed 5,500 sq. ft., excluding garage.

For lots of 21,781 sq. ft. to 32,670 sq. ft., maximum square footage shall not exceed 8,500 sq.ft., excluding garage.

For lots exceeding 32,670 sq. ft., maximum square footage shall be 12,000 sq.ft.

The Committee may grant a deviation from the size requirements if the designer can demonstrate that additional square footage on that lot is designed in a manner that does not seem inappropriate to existing houses (or future houses that would meet the square footage requirements) in the immediate neighborhood.

## **Building Guidelines**

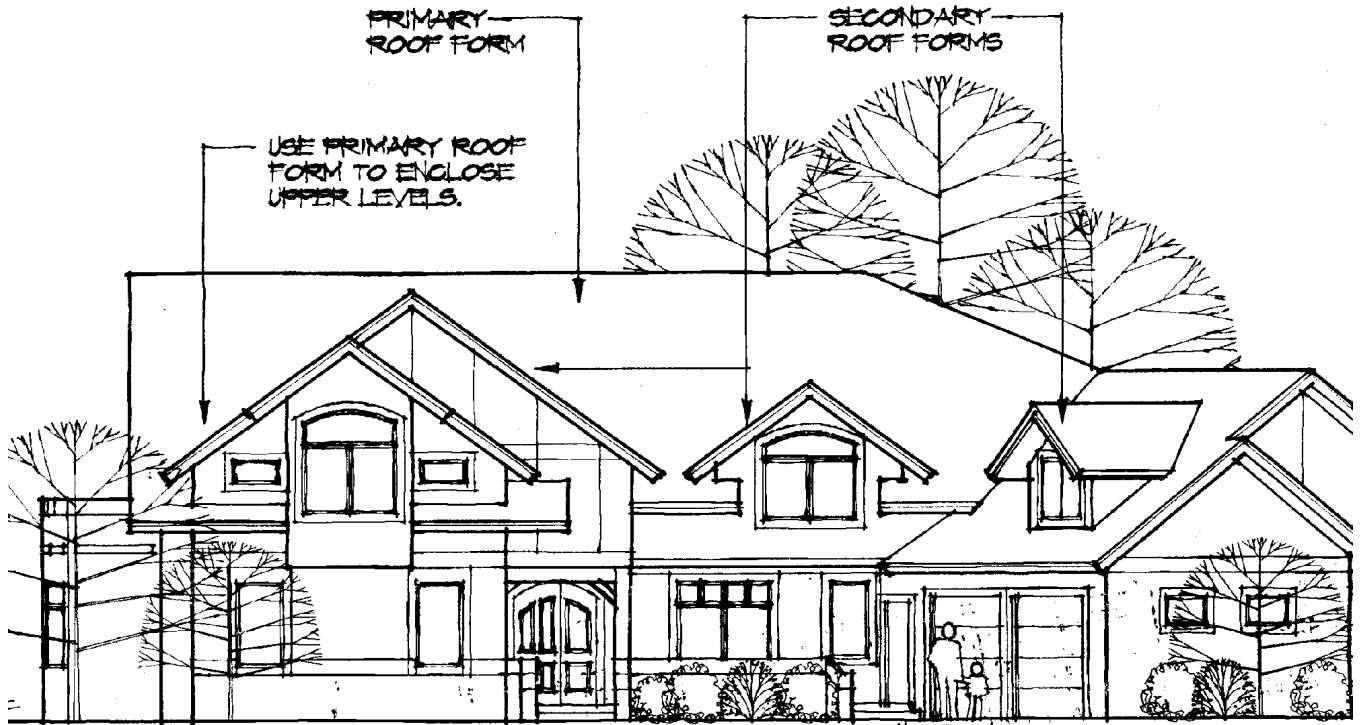
Intent and Design Theme. The intent of the following Building Guidelines is to provide for a degree of continuity throughout the built-up setting of the Project without stifling personal taste in choice of building style. Furthermore, the intent is to establish minimum standards to ensure that the type of residence constructed is at the least comparable to and blends with the eclectic styles of housing found in the surrounding development, and that the type of residence avoids the appearance of "tract development". The purpose of the design theme is to produce functional structures that have a quality residential character, including protected entrances, varying roof lines (including multiple roofs and dormers), exterior spaces such as decks and porches, and overall forms that have a quality residential character and feel. Design elements should address the direction of current residential trends incorporating the features and materials indicated in the following sections.

### Design Concepts.

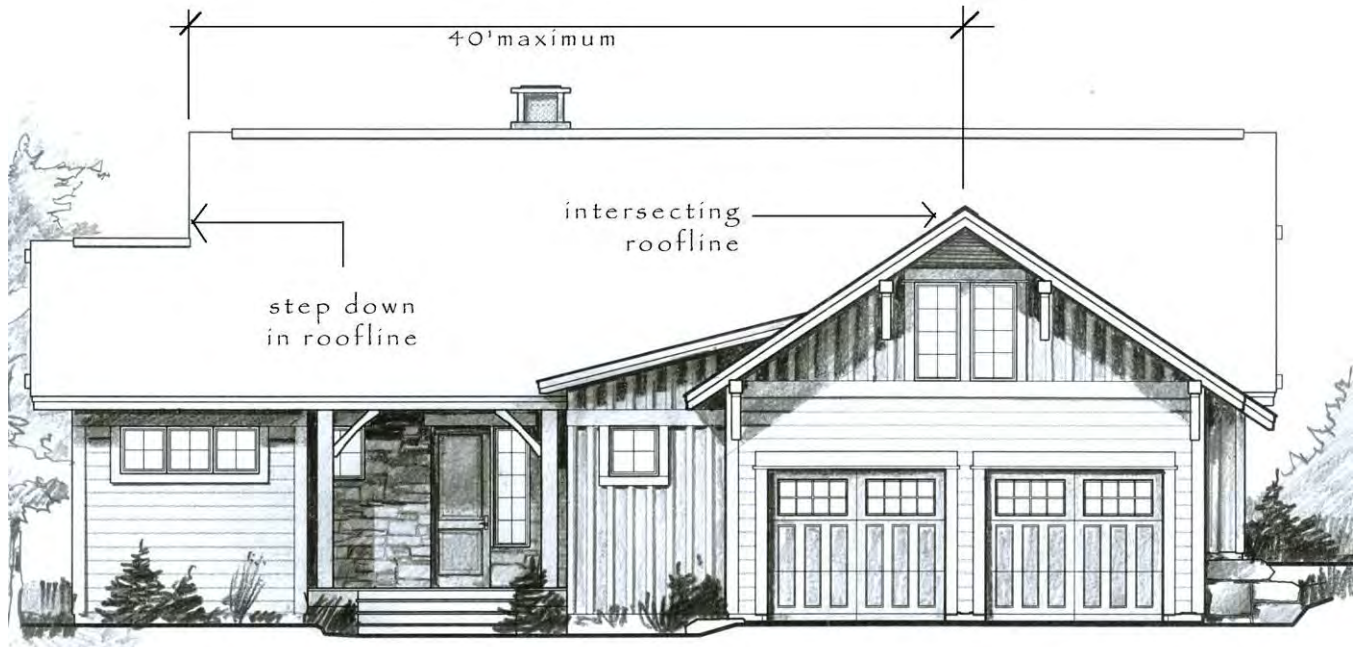
- a) Articulation of main entrances. Each residence shall have a clearly defined main entrance that is articulated by roof and building massing as well as landscaped design elements such as sidewalks, planting, lighting elements, etc. The main entrance shall face the street.
- b) Orientation of residences. Each residence shall be oriented to the unique environment of the Project. The residence may be additionally oriented to distant views.
- c) Scale and Massing of Residences. Each residence's design must address the scale and massing not only of the particular residence itself but also of adjacent residences within the development. Each residence will be reviewed by the Committee on this basis.
- d) Building Envelope. Each residence must be located within the building envelope designated for that lot.

Roofs. Roofs are a major element in the building design and therefore will be emphasized by the Committee.

a) Shape and Form. Early Structures in Gallatin Valley responded to the severe climate with traditional roof forms that dealt with the sometimes-heavy snow loads. It is the intention of these guidelines to require traditional gable, hip, and shed roof designs used in creative and aesthetically pleasing combinations. The traditional forms not only help establish the rural feel desired, but also make the structure more practical for the owners. Secondary roof forms are highly recommended in designs for the Project. These are particularly useful to give proper scale to large roof masses. They can be particularly effective when special care is given to their massing and pattern. For further illustration see the following examples.



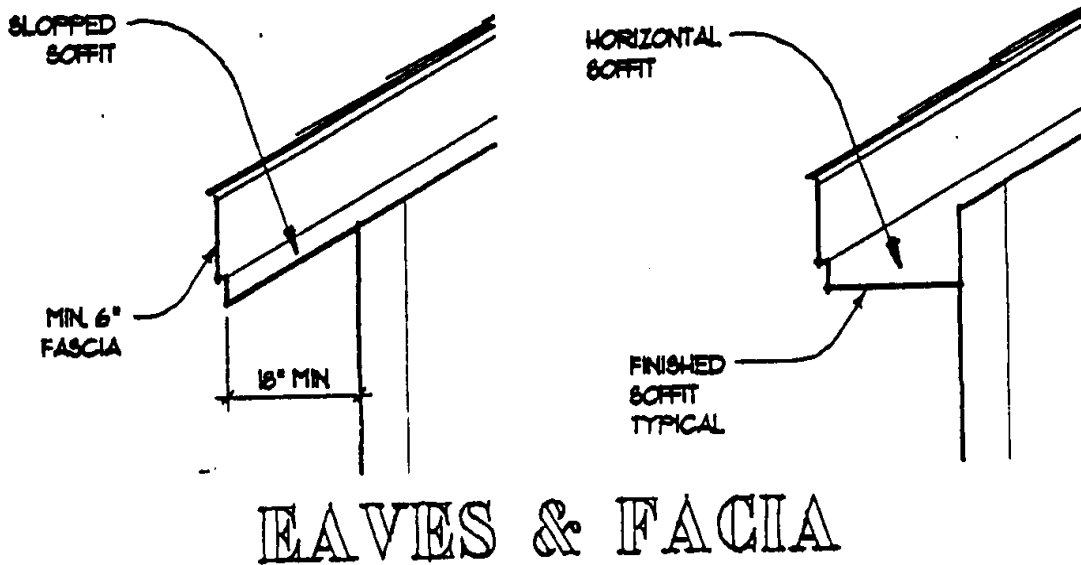
In addition, no roof ridge line shall extend more than forty feet (40') without interruption by an intersecting roofline, secondary roof structure, or step down roof in order to breakup the overall roof mass. For further illustration see drawing below.



b) Roof Pitches. The minimum roof pitch shall be 6:12 for the major components of any roof. Minor components and secondary roof structures, such as shed roofs and dormer roofs may have pitches as low as 4:12 (3:12 if determined appropriate by Committee). Under certain special circumstances the roof design may incorporate as a minor component of the overall roof design a flat roof (<3:12 if determined appropriate by the Committee).

c) Secondary Roof Structures. Skylights, chimneys and solar collectors are not considered secondary roof structures. Dormers and most other secondary roof structures are encouraged, both to add interest and scale to major roof areas and to make habitable use of space within the roofs. Dormers and other secondary roofs may have gable, hip or shed forms and may be stacked in multiple forms. When designing the location of skylights, consideration should be given to the exterior appearance of the unit. Locations should also be coordinated with window and door locations. Skylights shall be located away from valleys, ridges and all other areas where drifting snow and snow ice may hinder the performance and safety of the unit. Solar collectors can be very unsightly, and therefore, shall be integrated into the overall roof design, and shall be placed parallel with the slope of the roof or wall of the building.

(d) Eaves, Soffits, and Facia. All major roof components shall have a minimum horizontal eave projection of 18 inches measured from the finished wall. Minor roof structures may have a reduced eave projection as necessary to maintain proper proportion or for a specific architectural effect demonstrated to the Committee. Eaves may have a horizontal or angled return to the wall. Soffits shall be required to cover all rafter tails and rough framing material except where framing members are finished and protected from exposure. For further illustration see drawing below.



e) Roofing Materials. Roofing materials enhance the building and need to be compatible with the surrounding residential neighborhood. The recommended roofing materials are wood shakes or shingles or composition shingles, (specifically Timberline 30 in “weathered wood”). Other materials may be acceptable with approval from the Committee.

f) Gutters, Downspouts, and Flashing. Gutters and downspouts are allowed but they must be of a color and finish that blends with the finish colors of the structure. Unpainted gutters, downspouts or flashing will not be allowed. Flashing materials shall be of copper or painted or anodized sheet metal.

g) Equipment and Ventilating Roof Projections. Should roof-mounted equipment be needed, it shall be integrated into the overall roof design and screened. All roof mounted HVAC equipment will be screened from view with an architectural element consistent with the design of the building and oriented away from the street side of the building. Other non-roof mounted equipment shall likewise be screened from view either with architectural elements such as approved fencing or with the use of landscaping.

Exterior Walls. The exterior walls are one of the most important aesthetic elements in the building design and will reflect the image of the entire subdivision. Elements of specific concern are scale, proportion, texture and color. The scale and proportion of the exterior walls must have inherent interest and diversity, and harmonize with the high quality nature of the development. All buildings will be of new construction and there will be no log, manufactured, mobile, pre-assembled, or modular buildings allowed.

a) Materials. The materials that are acceptable to provide the desired look and textures are stucco, real stone and brick, wood beams and siding which is painted or stained, and E.I.F.S. (Synthetic Stucco). Metal siding, and simulated stone, brick or wood must demonstrate to the Committee their appropriateness in the development. If determined appropriate by the committee, properly selected and laid cultured stone will be allowed. The Committee will consider other building materials on the market that maintain the aesthetic character of the subdivision.

b) Colors. The colors used must be muted earth tones and must also be considered to harmonize and complement the surrounding site and neighboring buildings. Trim colors should demonstrate only subtle color changes from the main body of the building. Limited use of bolder accents may be used if demonstrated to the Committee to be compatible with the character of the development.

c) Concrete. Exposed concrete shall be limited to a maximum of 8 inches from the bottom of the siding to the finish grade. Exposures of more than 8 inches shall be covered by shrubs, masonry veneer, textured concrete surfaces such as exposed aggregate or synthetic stucco.

d) Wall Form. No wall shall consist of a single finish treatment for more than 14 horizontal feet without interruption by a wall projection, window, wall corner, wall recess, porch or other architectural form that adds interest.

e) Windows and Doors. Windows are an important architectural element and are therefore required to be designed in a manner consistent with the residential area of the subdivision. Additionally, projections and recesses, and divided light windows are encouraged to accentuate a residential feel. See the following examples:



All windows shall be of double or triple glazing. Low "E" coatings are permitted. No mirrored glass or heavily tinted glass will be allowed.

Clad wood windows are permissible. Unclad wood, Vinyl and metal windows are not permissible. Main entrance door types, styles, and design must be submitted for approval.



The patterns, sizing, symmetry (or asymmetry) of windows and doors determines the scale and feel of a building. The Committee will require that the following aspects be carefully addressed in the window and door design:

- 1) Consistency of types and shapes.
- 2) Special shapes used for "feature" windows in appropriate areas.
- 3) Use of window patterns consistent with the design and massing of the structure.
- 4) Consistent use of window forms in conjunction with adjacent window forms.

See the following illustration.



Garages: Each may have a maximum of 3 garage doors. Unless a variance is granted by the Committee, only 2 doors may face toward the street on any residence.

Fire Protection: Each building is required to have a sprinkler fire suppression system that complies with code requirements, designed and engineered (with appropriate stamps and signatures) and installed in accordance with the current edition of the appropriate National Fire Protection Standard for the building and its use, and must be approved by the “fire protection authority having jurisdiction”.

## SITE DEVELOPMENT AND LANDSCAPE GUIDELINES

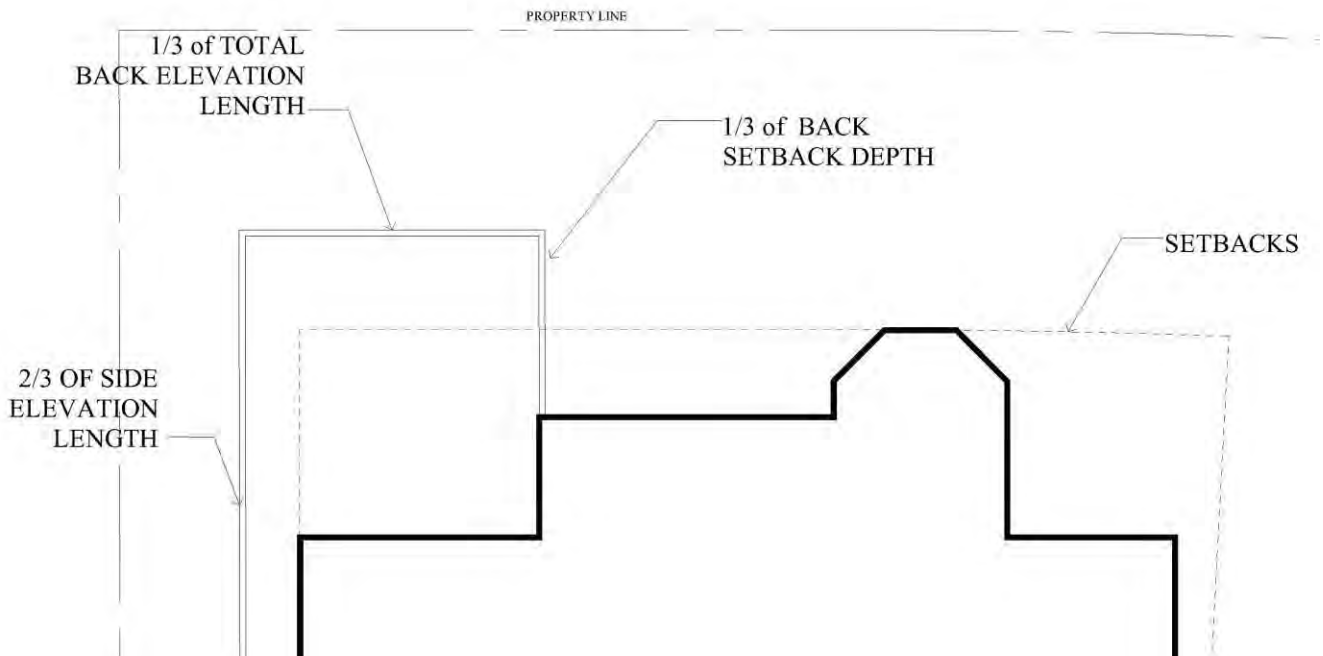
All site improvement plans shall be reviewed and approved by the Committee prior to commencement of construction or alteration. Minor adjustments to the building and landscaping after initial construction shall not require submittal of plans. Minor adjustments shall include replacement of dead or dying vegetation and the addition of trees, shrubs or other landscaping features providing that such additions are consistent with the Site Development and Landscape Guidelines.

Setbacks and Easements. With the exception of fences and privacy screens as described in these guidelines, no building or structure shall be erected, placed, constructed or remodeled so as to be less than 25 feet from the front or rear lot lines or within 15 feet from a side lot line, except that corner lots shall have a 30 foot requirement from the side lot lines contiguous to parks, open areas or roads.

Driveway and Culverts. All driveways and parking areas shall be surfaced with asphalt or concrete. Driveway culverts shall have attached flared ends of sheet metal or concrete construction. Culvert ends, not counting the flared ends, shall extend a minimum of 4 feet beyond the edge of the driveway. All culverts damaged by construction shall be replaced prior to final surfacing of the driveway.

Fences. One of the primary goals of the Project is to create an atmosphere that is open and expansive. Lot fencing will not be allowed in this subdivision unless approved by the Committee for specific reasons demonstrated by the applicant. Privacy screening and Fencing for screening of mechanical equipment only will be allowed. Fencing should be only as high as necessary to screen the area or equipment in question, and will in no instance exceed 6' in height unless specifically approved in writing by the Committee. Walls and fences must be an integral part of the residence. Materials allowed must be the same as the privacy screening discussed below.

Privacy Screening. Privacy screens will be allowed but must be constructed of wood siding, stucco, brick, or stone, and they shall be an integrated part of the main building. Privacy Screening shall not extend into more than 1/3 of the required setback on the front or sides, nor more than 1/3 of the setback on the rear elevation, nor be more than 1/3 the width of the structure on the front (street) or rear elevation, nor 2/3 the length on the side elevations. Plans for privacy screening must be submitted and approved by the Committee.



Exterior Lighting. See the Declaration and additionally, all lighting for the buildings and walk areas shall be concealed or recessed into the structure where possible. Additionally, where wall mounted fixtures or bollard type lighting for pedestrian circulation areas are required, all lighting will be of a type that has the luminaire of the fixture shielded from view from any angle with the exception of the area intended to be illuminated. No permanent colored lighting will be permitted. Exceptions may be made for seasonal decorations as a temporary condition. Florescent fixtures are to fitted with “warm” lamps.

Utilities. All utilities including, but not limited to, natural gas, electricity, telephone and cable T.V. shall be located underground.

No Storage Sheds. Storage needs should be anticipated in the planning stage and will be required to be an integral part of the design of the building.

Temporary Structures. No temporary structures, trailers, campers, motor buildings, tents, shacks, or similar structures shall be used at anytime on the lot. During construction, a temporary construction trailer may be allowed.

Construction Materials: Storage, Clean up, and Debris. A list of acceptable procedures and guidelines will be given to the Owner prior to actual construction commencing and will require the written acceptance of compliance by the Owner prior to starting construction or construction will not be approved. Construction materials shall not at any time prior to or during construction be placed or stored in the street or placed anywhere else so as to impede, obstruct or interfere with pedestrians within the street right of way. Construction materials shall be removed from the entire Lot within thirty (30) days of substantial completion of construction.

Construction sites shall be kept clean, neat, and well organized. Any construction debris shall be the responsibility of the Building Contractor and Owner and shall be kept clean and properly stored. If

construction debris blows onto another Owners lot it is the responsibility of the Owner's Contractor to clean it up immediately. Contractors shall be aware of the annoyance of excessively loud radios and music disturbing the neighboring properties, and take steps to mitigate this problem. Of particular concern to the Declarant is street cleanliness. Any construction debris, and most especially dirt, gravel, rocks, and concrete which find their way into the street shall be removed by end of every business day. Owners are highly encouraged to notify their building contractors in writing of this important condition prior to signing their construction contract with them.

Grading and Drainage: It is the Owner's responsibility not to alter grades in such a way that would affect the overall drainage pattern of each individual lot. It is however, encouraged that grading be used to create a private garden(s). Mounding and earth berms are encouraged if they fit into the homeowners landscape design and accommodate prescribed lot drainage. Grading plans indicating drainage must be submitted to the ARB with the landscape package for review and approval. All grading plans which change a lots drainage pattern should be prepared by a landscape architect, soils engineer, or a civil engineer to ensure proper design.

1. Positive drainage shall be maintained away from all surrounding property lines and on-site buildings.
2. Surface drainage swales within lots are to be directed towards the drainage swales at the street or to existing, natural drainage courses on site.

Stream-side Lots: Lots with existing stream courses must adhere to setback restrictions defined by the Army Corps of Engineers. No grading or manicured landscaping is allowed within the setback boundaries defined on the Lot. No structures are permitted within the setback boundaries, including walking bridges crossing the streams. Stepping stones placed next to the stream are permitted.

Landscaping. Landscaping will be required to enhance the value of the property and the aesthetics of the site. The entire site shall be landscaped, including up to the actual edge of the road. Landscape, grading and irrigation plans shall be submitted and approved by the Committee. In locating bushes and trees consideration must be given to surrounding neighbors concerning view corridors and sun penetration to their site. Owners shall maintain the transition from the formal landscaping around the buildings and the Open Space areas which will be maintained to a according to the Open Space Management Plan. In no case shall the mown turf area of the landscaping of any one contiguous parcel of land exceed 10,000 square feet. An underground sprinkler system will be required and sod must be installed. Landscaping must be complete within 60 days of occupancy, weather and season permitting.

Landscaping Maintenance. Lawns and landscaping shall be maintained in a manner which shall not detract from the appearance and value of the adjoining Lots or diminish the aesthetics of the subdivision. Infractions will be dealt with as set forth in the Declaration. The intent of this provision is to ensure that every Lot in the Project is maintained in a uniform manner.

Landscaping requirements for individual residences.

Each proposed residence will provide a landscape plan for review and approval by the Committee. This plan will show all foundation and perimeter plantings, irrigation system plans, sidewalks, and other landscape elements. In addition to the Landscape requirements of the Planning authority, the following foundation plantings will be required: For every 8 linear feet of foundation wall, the owner will be

required to provide and plant as a minimum 1 small ornamental tree, 1 evergreen shrub, or 1 deciduous shrub as defined in the Zoning Ordinance. This landscape plan will be designed to soften the transition between the building and the landscaped lot and will be consistent with the approved landscape plan of the Project. Landscape beds shall be edged and mulched in washed gravel or bark, and shall be constructed with weed mat.

Each Lot will use a defined palette for the rear yard that is consistent with the palette of the golf course. Landscaping around the golf course helps frame the playable areas of the course and trees are located at property lines to define views. The rear yard landscape should be designed as an extension of the golf course landscape and all plant material should be complimentary to the existing plants (see Typical Landscape Plans. – Appendix A). That Palette is defined in Appendix B of these guidelines. An expanded palette is also listed for the front yard, allowing a more diverse design that still keeps a consistent streetscape for the whole development.

There will be a minimum of 8\* trees and between 50 and 200 shrubs planted per lot. The trees are to be within the following minimum size requirements.

|                       |  |
|-----------------------|--|
| Conifers              | 8' in height                                     |
| Deciduous Shade Trees | 2" trunk caliper, measured 4' from base of trunk |

\*Aspen All aspen trees are to be planted in clusters of a minimum of 5 trees. Each cluster will be counted as 1 (one) tree to lot calculations. Three of the aspens contained within the cluster shall be a minimum of 9' in height.

There will be a minimum of 6 trees required per lot, and all trees will be a minimum of eight (8') feet in height. Thirty (30%) percent of the required trees must be conifers. Trees are encouraged to be planted in clusters rather than regular intervals around the property. Shrubs and flowers shall be used to provide a transitional mass from the tree clusters to the lawn surfaces. Deciduous trees and shrubs can be placed on the southern and western sides to provide shade in the summer months and allow sun to penetrate to the building during the winter months. Suggested deciduous and evergreen trees are described in Appendix A. Additionally for each building built directly adjacent to another building, the landscape plan shall denote 1 large canopy tree or 1 large non-canopy tree for every 30' of adjacency. In the event that a large tree is inappropriate, 2 small ornamental trees may be substituted. Definitions for plantings are defined in Exhibit A. Upon initial installation, trees needing temporary support until roots have established will use wooden posts. No steel posts will be allowed. The balance of the lot square footage shall be tree and shrub plantings and clusters with edged beds, and areas of natural grass from the Golf Course landscape palette as defined above.